



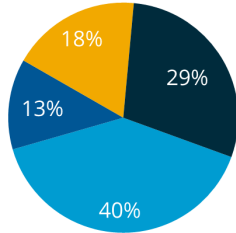
APPLICATIONS RECEIVED

20% decrease in applications from March 2023.

A total of **55** applications were received this month. **One** application was City-initiated and **54** applications were initiated by private applicants.

This report communicates the Planning Division's workload & provides analysis of trends to better understand staff capacity.

TYPE OF PETITIONS



- Zoning Administrator
- Planning Commission
- Historic Landmark
- Subdivision

TYPE OF APPROVAL PROCESS



Administrative Approval

48



Planning Commission

7

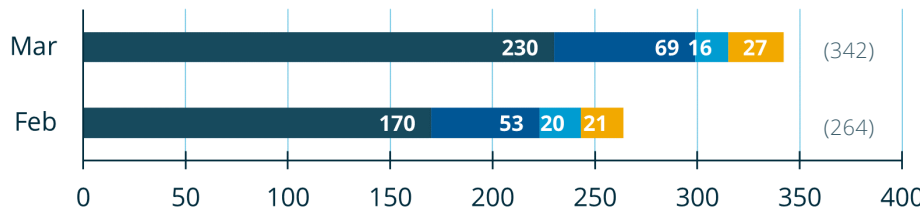


City Council Approval

2

87% of the applications can be processed administratively.

BUILDING PERMIT / ZONING REVIEWS



Number of Reviews to Date for 2024

890

- 1st Review
- 2nd Review*
- 3rd Review*
- 4+ Reviews*
- * Review for corrections

PLANNING COUNTER INQUIRIES

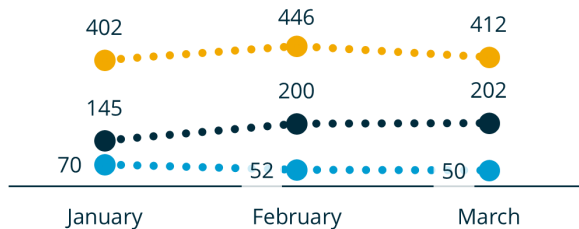
This month the Planning Division received a total of **412** phone calls, **202** email inquiries, and **50** walk-in inquiries.

PUBLIC ENGAGEMENT

Online Open Houses are hosted by the Planning Division as an opportunity for constituents to stay informed, review proposals, and provide feedback.

This month 72 Online Open Houses were hosted with a total of 1,094 visits.

TRENDS



- Walk-ins
- Emails
- Phone Calls

ONLINE OPEN HOUSES BREAKDOWN



New this month

3



Active from past months

67



Closed this month

2

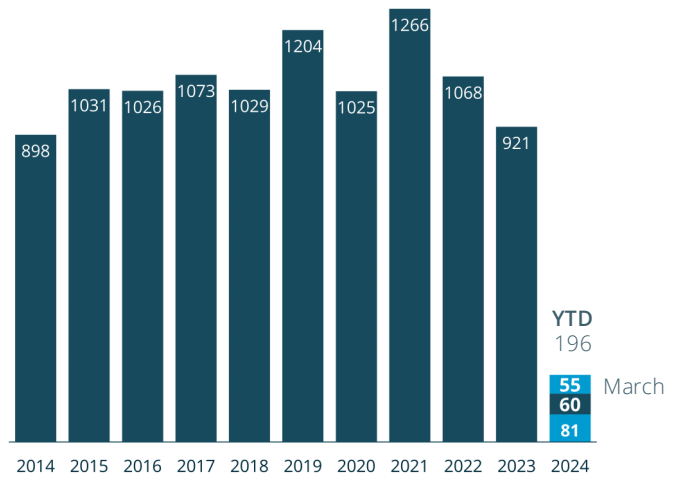


10-YEAR TREND ANALYSIS

March 2024 saw significantly less applications than average. **From 2014 to 2024, the Division received an average of 89 applications in the month of March.**

March 2024 received the lowest amount of submitted applications in the month of March since 2014. Furthermore, the 55 applications received is the third lowest received in any month since the start of 2014. 2021 received the highest number of applications for March with a total of 132 applications.

The total number of applications received this month is about 38% lower than the monthly average for March.



FEATURED PROJECTS

Innovation Park at Liberty Wells

The Salt Lake City Planning Commission approved a Planned Development and Preliminary Subdivision at 707 S 400 E.

The project will retrofit the existing Liberty Wells Center into 30 apartment units and will also build 36 townhomes on the vacant field next to it. 75% of the units are proposed to be rented at or below 80% area median income.



NEW PROJECTS

3363 S 300 E - Planned Development

Jackson Ferguson, with FFKR Architects has proposed a Planned Development for the Overland on Third project; a mixed-use building consisting of 168 units, indoor/outdoor amenity space, and 1,200 square feet of ground-level retail space. The building will have 12' stories and a total height of 125'.

The project seeks Planned Development approval in order to allow no rear yard setback for a parking garage and amenity deck as well as the elimination of the ground-level private open space. The open space is proposed to be relocated to the third level amenity deck.

HIGHLIGHT

Electronic Message Centers Text Amendment

The Salt Lake City Planning Commission forwarded a recommendation to the City Council to approve a text amendment (with suggested conditions) that would amend the zoning ordinance to create standards regulating electronic sign faces.

The proposed standards include regulations like brightness controls, display hours, and zones where these signs are not permitted. Currently, there are no standards that specifically regulate electronic sign faces.